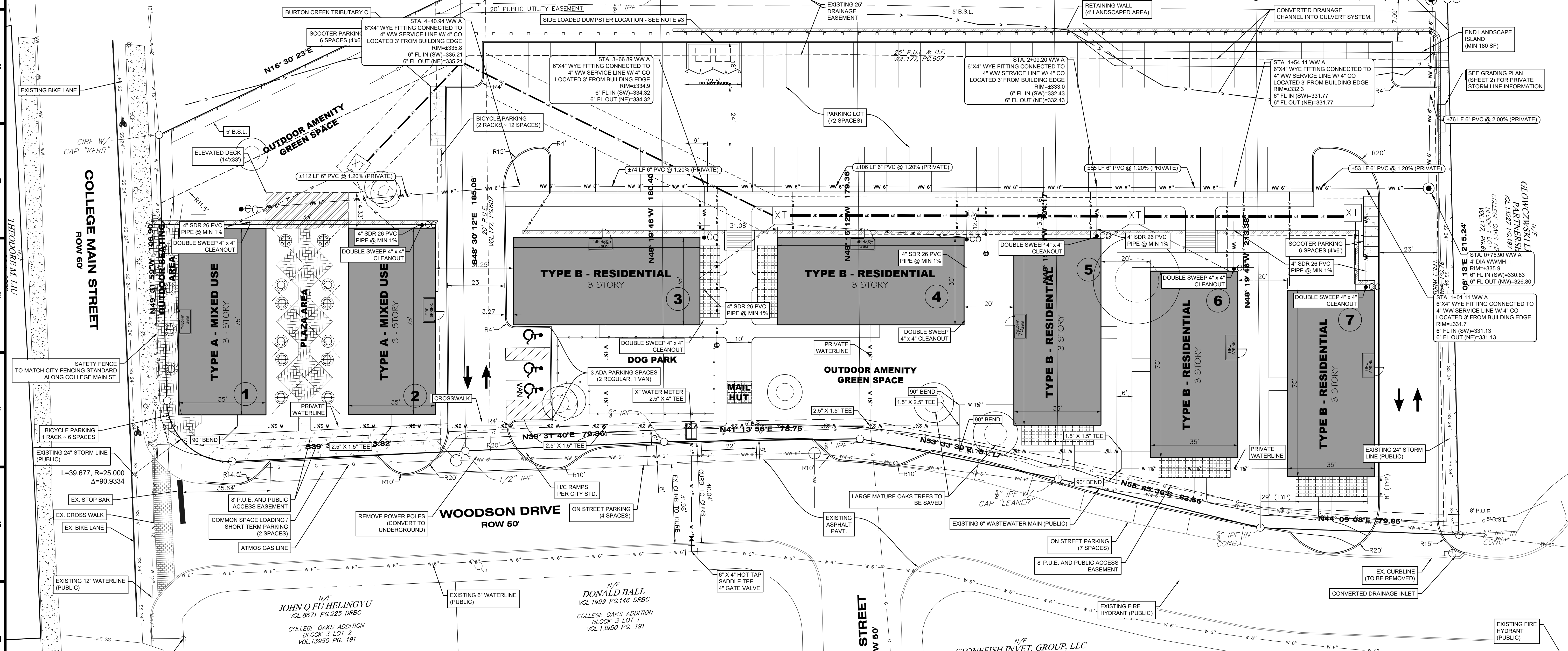




VICINITY MAP
SCALE: 1" = 2,000'



BUILDING & SITE SUMMARY

BLDG #	BLDG. TYPE	UNIT COUNT	BLDG. DESCRIPTION	AREA (SF) (GFA)	STORY / HEIGHT
1	TYPE A	5	8 BEDROOM BLDG W/ GROUND LEVEL SPACE	7875	3 STORY / 40'
2	TYPE A	5	8 BEDROOM BLDG W/ GROUND LEVEL SPACE	7875	3 STORY / 40'
3	TYPE B	7	12 BEDROOM BLDG	7875	3 STORY / 40'
4	TYPE B	7	12 BEDROOM BLDG	7875	3 STORY / 40'
5	TYPE B	7	12 BEDROOM BLDG	7875	3 STORY / 40'
6	TYPE B	7	12 BEDROOM BLDG	7875	3 STORY / 40'
7	TYPE B	7	12 BEDROOM BLDG	7875	3 STORY / 40'
		TOTAL BLDG. AREA		55125.00	
		TOTAL SITE AREA, AC		2.21	96.268
		BUILDABLE SITE AREA, AC		1.80	
		FAR		0.57	
		FAR, BUILDABLE		0.70	
		TOTAL UNIT COUNT			1.41
		TOTAL BEDROOM COUNT			63.8

PARKING SUMMARY

UNIT	UNIT COUNT	REQ'D RATIO	REQ'D PARKING
COMMERCIAL (3000 SF)	4280	1 SP / 375 SF	12
BEDROOMS	76	1 SP / 1 BED	76
		GROSS PARKING SPACES REQUIRED	88
REDUCTION IN PARKING			
TRANSIT STOPS			2
SCOOTER PARKING			2
BICYCLE PARKING			2
TOTAL REDUCTION			6
		NET PARKING REQUIRED	82
PROVIDED PARKING			
SPACE TYPE	DIMENSIONS	#	
PARALLEL PARKING	8' x 22'	13	
REGULAR SPACES	9' x 18'	72	
ADA SPACES (REGULAR)	9' x 18'	3	
PROVIDED PARKING	TOTAL		88

SITE PLAN NOTES

- SIGNAGE USED TO PREVENT NON-CUSTOMERS FROM PARKING IN ANY ON-STREET PARKING SPACES IS PROHIBITED.
- THE PROPERTY IS ZONED PLANNED DEVELOPMENT - MIXED USE (PD-M) PER CITY OF BRYAN ORDINANCE NO. 2490, APPROVED BY CITY COUNCIL ON 6/8/2021.
- CONTAINMENT AREA PAD FOR DUMPSTER SHALL BE LEVEL W/ APPROACH TO ENCLOSURE <2% SLOPE. CONTAINMENT AREA SHALL USE 8" CONCRETE, REINFORCED WITH #5 BARS AT 12" OCEW AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF THE CONTAINMENT AREA. CONTAINMENT DOOR MUST OPEN AT LEAST 10 FEET WIDE FOR EACH SIDE OF LOAD CONTAINER. CONTAINMENT AREA MUST BE SURROUNDED ON THREE SIDES WITH A SCREEN CONSTRUCTED TO A HEIGHT OF SIX FEET. THE PAD, SCREENING, AND DOORS WILL BE MAINTAINED AT THE PROPERTY OWNER'S EXPENSE.
- ANY EXISTING SEWER TAPS FOR EXISTING HOMES TO THE EXISTING MAIN WILL NEED TO BE CAPPED OFF AT THE MAIN AS DIRECTED BY THE CITY.
- PLEASE CALL STREETS & DRAINAGE SERVICES AT (979) 209-5900 AT LEAST 48 HOURS PRIOR TO POURING CONCRETE, TO SCHEDULE A DRIVEWAY INSPECTION.
- DRIVEWAYS MUST COMPLY WITH B/C'S UNIFIED STANDARD CONSTRUCTION DETAIL ST2-03.
- THE DEVELOPER WILL BE RESPONSIBLE FOR PROPERLY TYING DRIVEWAY(S) INTO (AND/OR PATCHING) EXISTING ROADWAY. STREET REPAIRS, WHEN REQUIRED, SHALL BE AS DETAILED IN B/C'S UNIFIED STANDARD CONSTRUCTION DETAIL STA-01 OR STA-02.
- PER ORDINANCE NO. 2490, FRONT, REAR, AND SIDE SETBACKS FROM STRUCTURES TO PROPERTY LINES ARE 5 FEET.
- CITY OF BRYAN WILL MAKE THE PROPOSED WATER TAPS. DEVELOPER WILL BE RESPONSIBLE FOR PAYING TAP FEES.
- FDOS ARE LOCATED DIRECTLY OUTSIDE THE FIRE RISER ROOM.
- ALL SIDEWALKS SHALL BE CONCRETE. ALL ROADWAY / PARKING PAVEMENT SHOULD BE LIGHT-DUTY.

PROJECT ENGINEER
M3 ENGINEERING
2900 S CONGRESS, SUITE 203
AUSTIN, TEXAS 78704

LEGAL DESCRIPTION
LOTS 18-13
COLLEGE OAKS ADDITION
2.210 ACRES

OWNER
CZECHEMEX PROPERTIES, LLC
13492 RESEARCH BLVD,
SUITE 120-152
AUSTIN, TEXAS 78750

APPLICANT
WOODSON DEVELOPMENT, LLC
4464 LEONARD ROAD
BRYAN, TEXAS 77807

DESIGN PROFESSIONAL



M3 ENGINEERING
2900 S CONGRESS, SUITE 203
AUSTIN, TEXAS 78704
PH: 512.820.3265
FIRM # 18863

WWW.M3ENGINEERING.COM

CIVIL ENGINEERING | BUILDING DESIGN
CONSTRUCTION MANAGEMENT

WOODSON DEVELOPMENT

ISSUE/REVISION RECORD

NOT FOR CONSTRUCTION

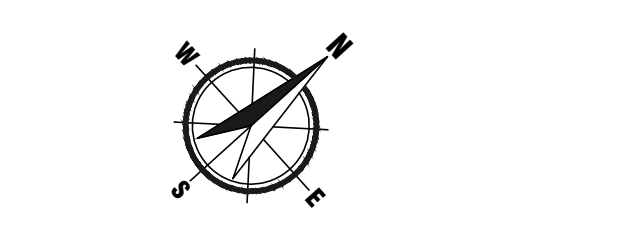
PROJECT NAME
WOODSON MIXED USE DEVELOPMENT

500 WOODSON DRIVE
BRYAN, TEXAS TBD

PROJECT NUMBER
20006

DRAWING FILE
20006-SITE SDRG.DWG

SCALE 1" = 20'



PROFESSIONAL SEAL

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF TROY L. MOORE III #119326 ON THE DATE SHOWN ON THE DATE STAMP. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PROJECT STATUS
SDRC SITE PLAN

SHEET TITLE
SITE & DIMENSIONAL CONTROL PLAN

SHEET NUMBER

1 of 2

DRAWING FILE: 20006-SITE SDRG.DWG

GRADING LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
		GRADE BREAK / RIDGE
		BERM
		SWALE
		DRAINAGE SLOPE
x EG-905.25		EXISTING SPOT GRADE
x MEG-905.25		MATCH EXISTING GRADE
	x FG	FINISH SPOT GRADE
	x	SOIL BORING
	TC: 509.25 TP: 508.75	TOP OF CURB TOP OF PAVEMENT
	TC: 509.25 TG: 508.75	TOP OF CURB TOP OF GRATE
	TW: 509.25 BW: 508.75	TOP OF WALL BOTTOM OF WALL
	TG: 507.50	TOP OF GRATE

TEXAS ONE CALL SYSTEM
1-800-245-454
CALL BEFORE YOU DIG.
 TEXAS ONE CALL PARTICIPANTS SHALL REQUEST 72 HOURS BEFORE YOUR DIG, DRILL, OR BLAST.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DESIGN PROFESSIONAL



M3 ENGINEERING
 2900 S CONGRESS, SUITE 203
 AUSTIN, TEXAS 78704
 PH: 512.820.3265
 FIRM # 18863

WWW.M3ENGINEERING.COM

CIVIL ENGINEERING | BUILDING DESIGN
 CONSTRUCTION MANAGEMENT

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WOODSON DEVELOPMENT

ISSUE/REVISION RECORD

NOT FOR CONSTRUCTION

PROJECT NAME
WOODSON MIXED USE DEVELOPMENT

500 WOODSON DRIVE
 BRYAN, TEXAS TBD

MAP GRID # TBD
 MAPSCO # TBD

PROJECT NUMBER
20006

DRAWING FILE
 20006-GRAD SDR.C.DWG

SCALE 1" = 20'



PROFESSIONAL SEAL

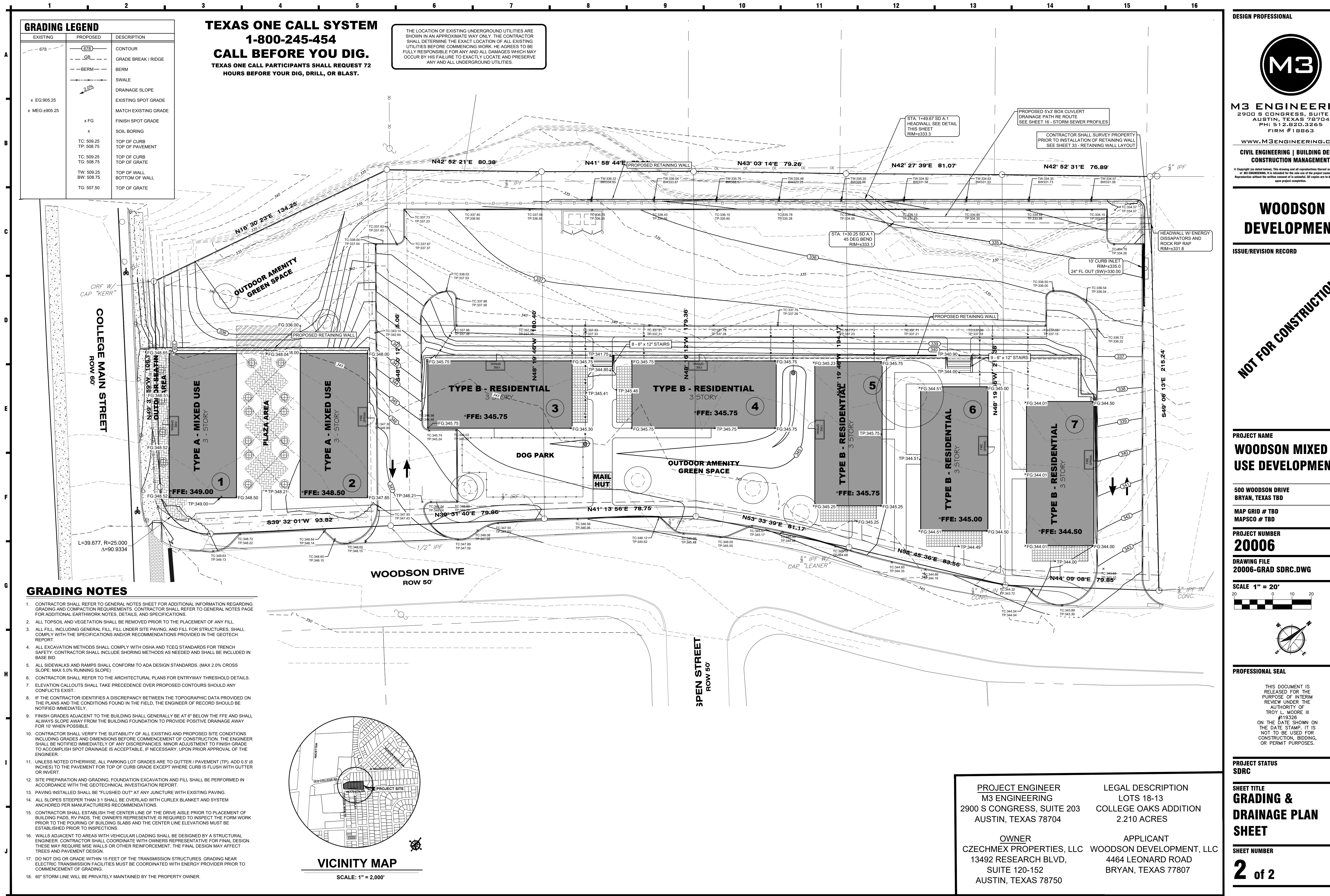
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PROJECT STATUS
 SDR.C

SHEET TITLE
GRADING & DRAINAGE PLAN SHEET

SHEET NUMBER

2 of 2



GRADING NOTES

- CONTRACTOR SHALL REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION REGARDING GRADING AND COMPACTION REQUIREMENTS. CONTRACTOR SHALL REFER TO GENERAL NOTES PAGE FOR ADDITIONAL EARTHWORK NOTES, DETAILS, AND SPECIFICATIONS.
- ALL TOPSOIL AND VEGETATION SHALL BE REMOVED PRIOR TO THE PLACEMENT OF ANY FILL.
- ALL FILL, INCLUDING GENERAL FILL, FILL UNDER SITE PAVING, AND FILL FOR STRUCTURES, SHALL COMPLY WITH THE SPECIFICATIONS AND/OR RECOMMENDATIONS PROVIDED IN THE GEOTECH REPORT.
- ALL EXCAVATION METHODS SHALL COMPLY WITH OSHA AND TCEQ STANDARDS FOR TRENCH SAFETY. CONTRACTOR SHALL INCLUDE SHORING METHODS AS NEEDED AND SHALL BE INCLUDED IN BASE BID.
- ALL SIDEWALKS AND RAMPS SHALL CONFORM TO ADA DESIGN STANDARDS. (MAX 2.0% CROSS SLOPE; MAX 5.0% RUNNING SLOPE)
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ENTRYWAY THRESHOLD DETAILS.
- ELEVATION CALLOUTS SHALL TAKE PRECEDENCE OVER PROPOSED CONTOURS SHOULD ANY CONFLICTS EXIST.
- IF THE CONTRACTOR IDENTIFIES A DISCREPANCY BETWEEN THE TOPOGRAPHIC DATA PROVIDED ON THE PLANS AND THE CONDITIONS FOUND IN THE FIELD, THE ENGINEER OF RECORD SHOULD BE NOTIFIED IMMEDIATELY.
- FINISH GRADES ADJACENT TO THE BUILDING SHALL GENERALLY BE AT 6" BELOW THE FFE AND SHALL ALWAYS SLOPE AWAY FROM THE BUILDING FOUNDATION TO PROVIDE POSITIVE DRAINAGE AWAY FOR 10' WHEN POSSIBLE.
- CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.
- UNLESS NOTED OTHERWISE, ALL PARKING LOT GRADES ARE TO GUTTER / PAVEMENT (TP). ADD 0.5" (6 INCHES) TO THE PAVEMENT FOR TOP OF CURB GRADE EXCEPT WHERE CURB IS FLUSH WITH GUTTER OR INVERT.
- SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- PAVING INSTALLED SHALL BE "FLUSHED OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE OVERLAID WITH CURLEX BLANKET AND SYSTEM ANCHORED PER MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL ESTABLISH THE CENTER LINE OF THE DRIVE AISLE PRIOR TO PLACEMENT OF BUILDING PADS, RV PADS. THE OWNER'S REPRESENTATIVE IS REQUIRED TO INSPECT THE FORM WORK PRIOR TO THE POURING OF BUILDING SLABS AND THE CENTER LINE ELEVATIONS MUST BE ESTABLISHED PRIOR TO INSPECTIONS.
- WALLS ADJACENT TO AREAS WITH VEHICULAR LOADING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER. CONTRACTOR SHALL COORDINATE WITH OWNERS REPRESENTATIVE FOR FINAL DESIGN. THESE MAY REQUIRE MSE WALLS OR OTHER REINFORCEMENT, THE FINAL DESIGN MAY AFFECT TREES AND PAVEMENT DESIGN.
- DO NOT DIG OR GRADE WITHIN 15 FEET OF THE TRANSMISSION STRUCTURES. GRADING NEAR ELECTRIC TRANSMISSION FACILITIES MUST BE COORDINATED WITH ENERGY PROVIDER PRIOR TO COMMENCEMENT OF GRADING.
- 60" STORM LINE WILL BE PRIVATELY MAINTAINED BY THE PROPERTY OWNER.



VICINITY MAP
 SCALE: 1" = 2,000'

PROJECT ENGINEER M3 ENGINEERING 2900 S CONGRESS, SUITE 203 AUSTIN, TEXAS 78704	LEGAL DESCRIPTION LOTS 18-13 COLLEGE OAKS ADDITION 2.210 ACRES
OWNER CZECHMEX PROPERTIES, LLC 13492 RESEARCH BLVD, SUITE 120-152 AUSTIN, TEXAS 78750	APPLICANT WOODSON DEVELOPMENT, LLC 4464 LEONARD ROAD BRYAN, TEXAS 77807